

CITY OF
FREMONT
NEBRASKA PATHFINDERS



COPY

400 East Military Avenue, Fremont, NE 68025-5141

May 7, 2019

25b-
5-22-2019
Agenda Item #
Date

RE: Conditional Use Permit

Dear Property Owner:

You are hereby advised that the City of Fremont has received the following application(s):

A request by Brian Zubert on behalf of Eastowne Development, Fremont Health and Signa Properties, for a Conditional Use Permit for a Residential Cluster for a 216 unit apartment complex of age 55+ workforce housing generally described as Lots 1 & 2 Fountain Springs 2nd Subdivision, Lot 2 Fountain Springs 3rd Subdivision and Lots 1 & 2 Fountain Springs 4th Subdivision located in the SE ¼ Section 11, Township 17 Range 8 East, and more generally located at the northwest corner of 29th Street and Yager, lying south of 32nd Street, to be known as the Fountain Spring Adult Apartment Properties.

A public hearing on this application will be held before the City of Fremont Planning Commission on the 20th day of May, 2019. The public hearing is your opportunity to appear and speak on the merits of this application, if you so choose. The Planning Commission study session begins at 4:45 PM followed by the formal meeting at 5:00 PM in the Fremont City Council Chambers located on the second floor in the Fremont Municipal Building at 400 East Military Avenue, Fremont, Nebraska.

If you would like more information, you are encouraged to contact the applicant Robert Fields at 402-960-2363 or anewdevelopment@outlook.com, or the Planning Director, Jennifer Dam at 402-727-2636 or jennifer.dam@fremontne.gov.

The Planning Department staff report and recommendation will be available at the Planning Department office on Friday, May 17th after 3:00 PM. The Planning Commission Agenda and staff reports will also be available on the City's website at that time, www.fremontne.gov.

Sincerely,

Jennifer L. Dam, AICP
Planning Director

Attachment: drawings

Cc: Brian Zubert
Anew Development
Eastowne Development
Fremont Health
Signa Properties
Fremont School Board
County Board
Lower Platte North NRD

2019 MAY - 8 AM 10: 21
RECEIVED
Dodge Co Highway Dept




H. A. SHOOK DESIGN, LLC
 ARCHITECTURE AND DESIGN
 1706 SOUTH LEWIS STREET
 WASHINGTON, MO 63091
 636-424-0000
 LICENSED ARCHITECT
 OR SUBSIDIARY (7-200011287)

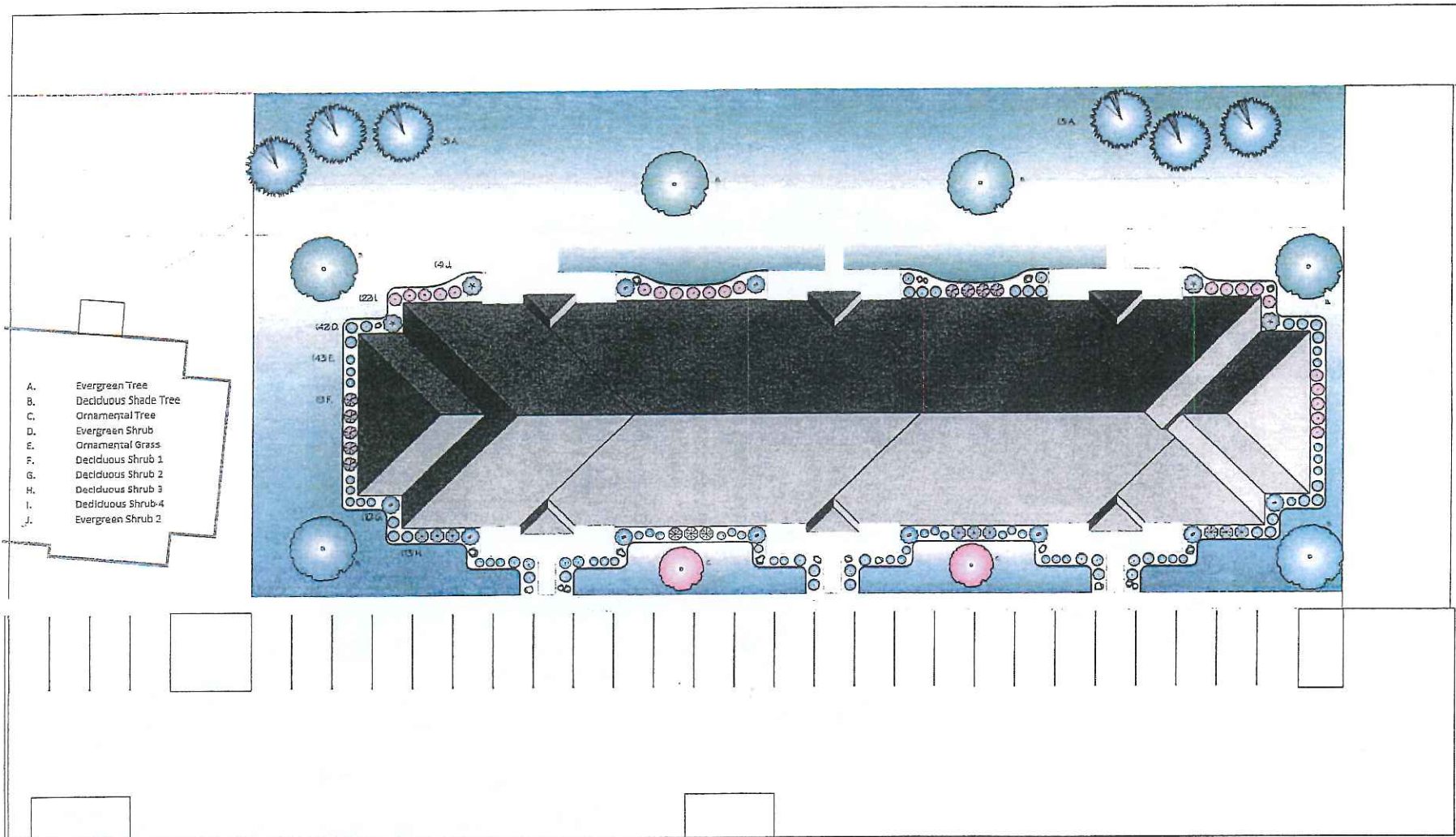
STATE OF MISSOURI
 REGISTERED ARCHITECT



CONCEPTUAL DESIGN B
55 & OVER WORKFORCE HOUSING PROJECT
 ANEW DEVELOPMENT, LLC

DATE: 03-24-19
 JOB NO.: 87552
 DRAWN: DOP
 CHECKED: KAS
 TITLE:
 CONCEPTUAL EXTERIOR RENDERINGS

SHEET NO.
D2.1



- A. Evergreen Tree
- B. Deciduous Shade Tree
- C. Ornamental Tree
- D. Evergreen Shrub
- E. Ornamental Grass
- F. Deciduous Shrub 1
- G. Deciduous Shrub 2
- H. Deciduous Shrub 3
- I. Deciduous Shrub-4
- J. Evergreen Shrub 2

Revision #:	Scale:	Landscape Plan:	Landscape Design by: Scott Licht
Date: 4/11/2019	1" = 10'	Typical Planting Plan	Siffring Landscaping



K. A. SHOOK DESIGN, LLC
 ARCHITECTURE AND DESIGN
 1700 SOUTH LEVY STREET
 AUSTIN, TX 78741
 512-453-8888
 A MEMBER COMPANY
 OF ARCHITECTS & DESIGNERS




CONCEPTUAL DESIGN B
55 & OVER WORKFORCE HOUSING PROJECT
 ANEW DEVELOPMENT LLC

DATE:	03-04-18
JOB NO.:	XXXX
DRAWN:	DDP
CHECKED:	KAS
TITLE:	CONCEPTUAL EXTERIOR RENDERINGS
SHEET NO.:	D2.0




 FRONT ELEVATION



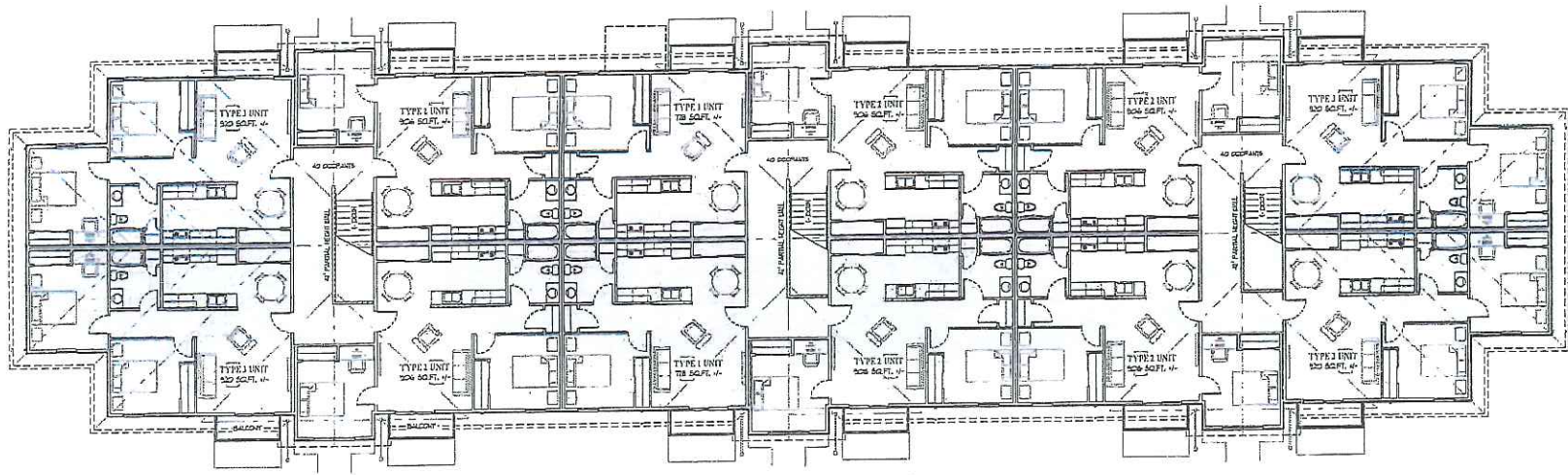

 RIGHT SIDE ELEVATION



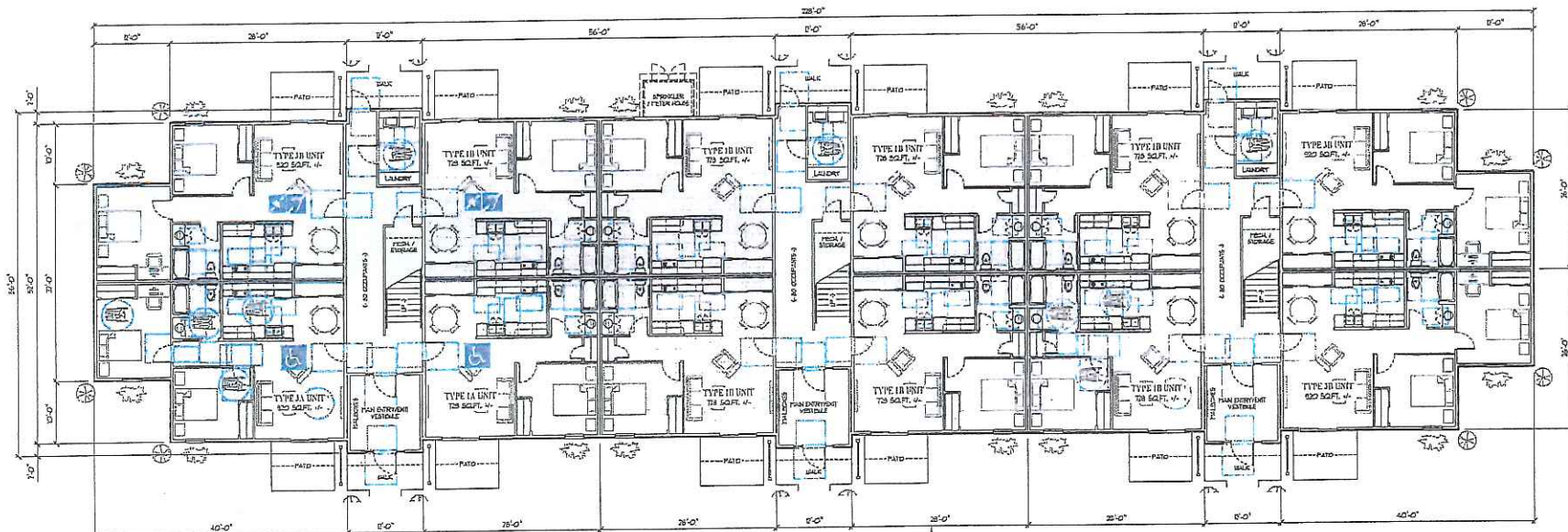

 LEFT SIDE ELEVATION





 REAR ELEVATION



FLOOR PLAN - UPPER LEVEL
SCALE: 1/8" = 1'-0"



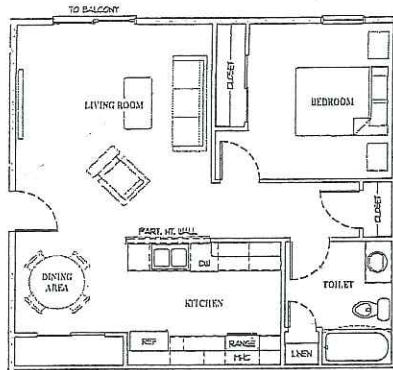
FLOOR PLAN - MAIN LEVEL
SCALE: 1/8" = 1'-0"


K. A. SNOOK DESIGN, LLC
 ARCHITECTURE AND DESIGN
 118 S.W. 7th, UNIT 1700
 MIAMI, FL 33135
 305-655-1500
 WWW.KASNOOKDESIGN.COM

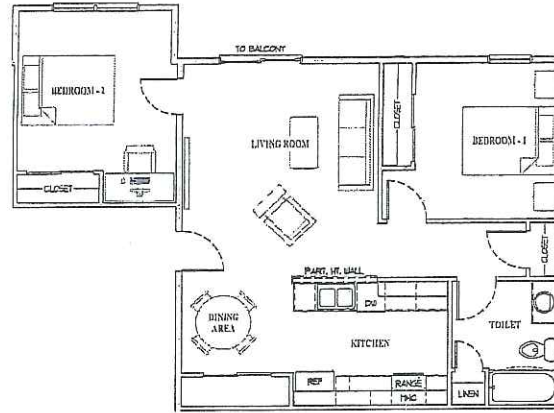


CONCEPTUAL DESIGN BY
55 & OVER WORKFORCE HOUSING PROJECT
 A NEW DEVELOPMENT LLC

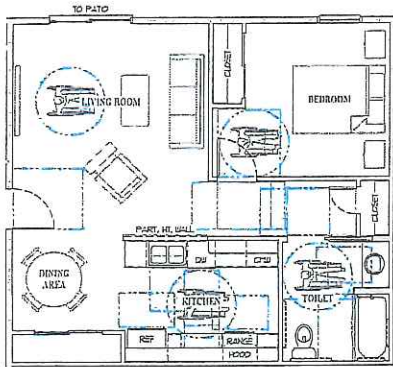
DATE:	03-04-18
JOB NO.:	55&O
DRAWN:	ODP
CHECKED:	RAS
TITLE:	CONCEPTUAL OVERALL FLOOR PLANS
SHEET NO.:	D1.0



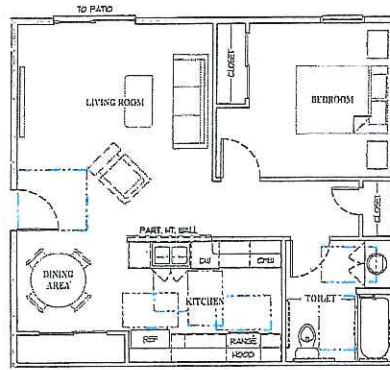
3
DU
ENLARGED UNIT PLAN - TYPE 1 UNIT
SCALE: 1/2" = 1'-0"



6
DU
ENLARGED UNIT PLAN - TYPE 2 UNIT
SCALE: 1/2" = 1'-0"



4
DU
ENLARGED UNIT PLAN - TYPE 1A
(TYPE "A" DWELLING UNIT)
SCALE: 1/2" = 1'-0"



5
DU
ENLARGED UNIT PLAN - TYPE 1B
(TYPE "B" DWELLING UNIT)
SCALE: 1/2" = 1'-0"

GENERAL NOTES

THESE DRAWINGS AND/OR DESIGN ARE NOT INTENDED FOR BIDDING OR CONSTRUCTION AND ARE FOR REFERENCE ONLY.

DESIGN CRITERIA - D

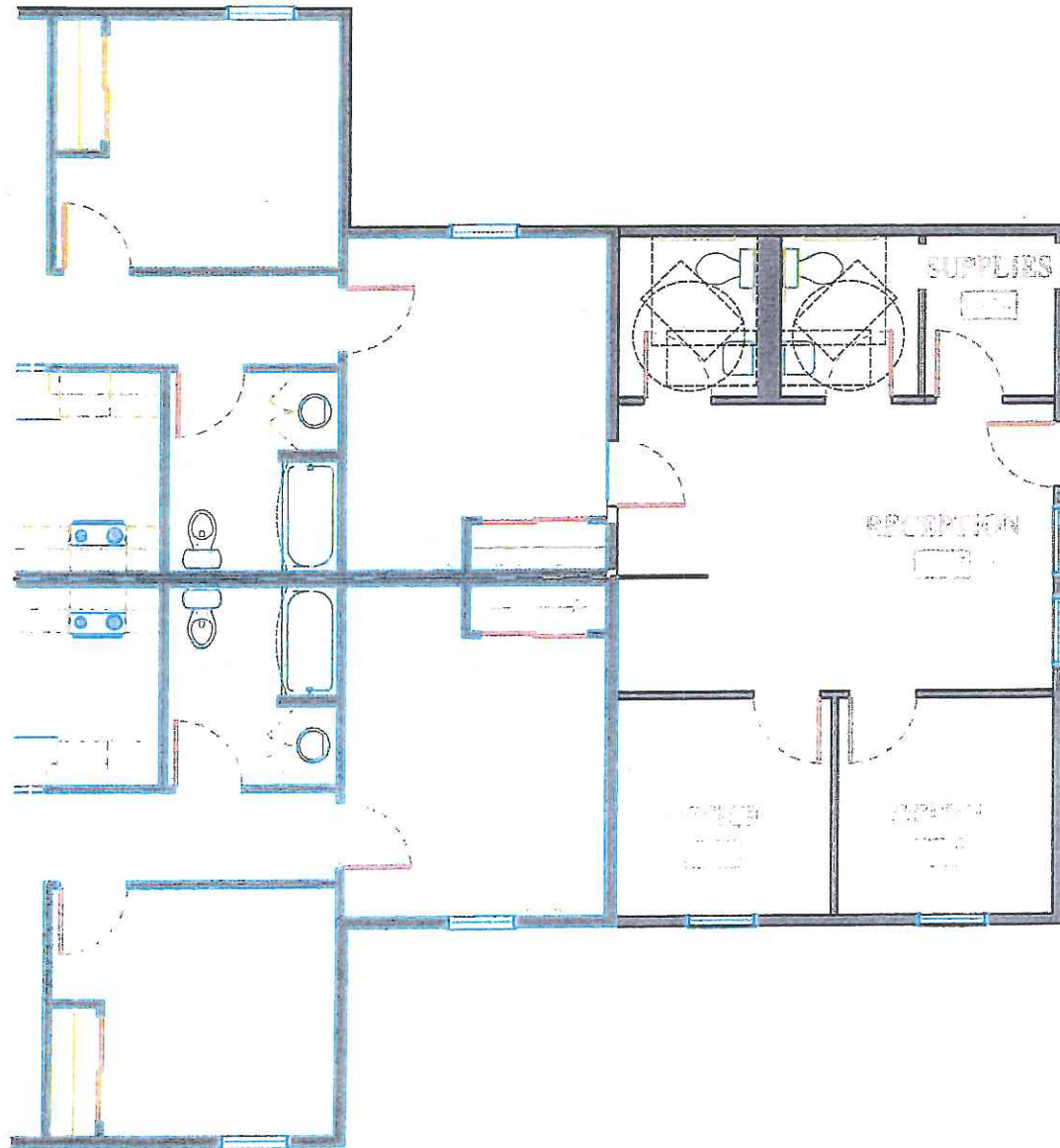
CLASSIFICATION: R2 - RESIDENTIAL
 CONSTRUCTION TYPE: V5 - UNPROTECTED SPRINKLERED
 ALLOWABLE AREA: 1000 SQFT.
 FRONTAGE: 5700 SQFT; 5200 SQFT.
 ACTUAL BUILDING AREA: 1810 SQFT.
 PLAN LEVEL: 1844 SQFT.
 UPPER LEVEL: 1644 SQFT.
 TOTAL: 3484 SQFT.
 ALLOWABLE HEIGHT: 60' / 3 STORES
 ACTUAL HEIGHT: 30' / 3 STORES
 OCCUPANCY: 10
 2 CP UNITS = 24
 TOTAL OCCUPANTS = 740
 TYPE 1 UNITS = 2
 TYPE 1A UNITS = 1
 TYPE 1B UNITS = 1
 TYPE 2 UNITS = 4
 TYPE 3 UNITS = 4
 TYPE 3A UNITS = 4
 TYPE 3B UNITS = 3

K. A. SHOOK DESIGN, LLC
 ARCHITECTURE AND DESIGN
 1308 SOUTH LEAS STREET
 OKEMUNE, WY 82401
 307-633-0300
 LICENSED ARCHITECT
 OF THE STATE OF WYOMING

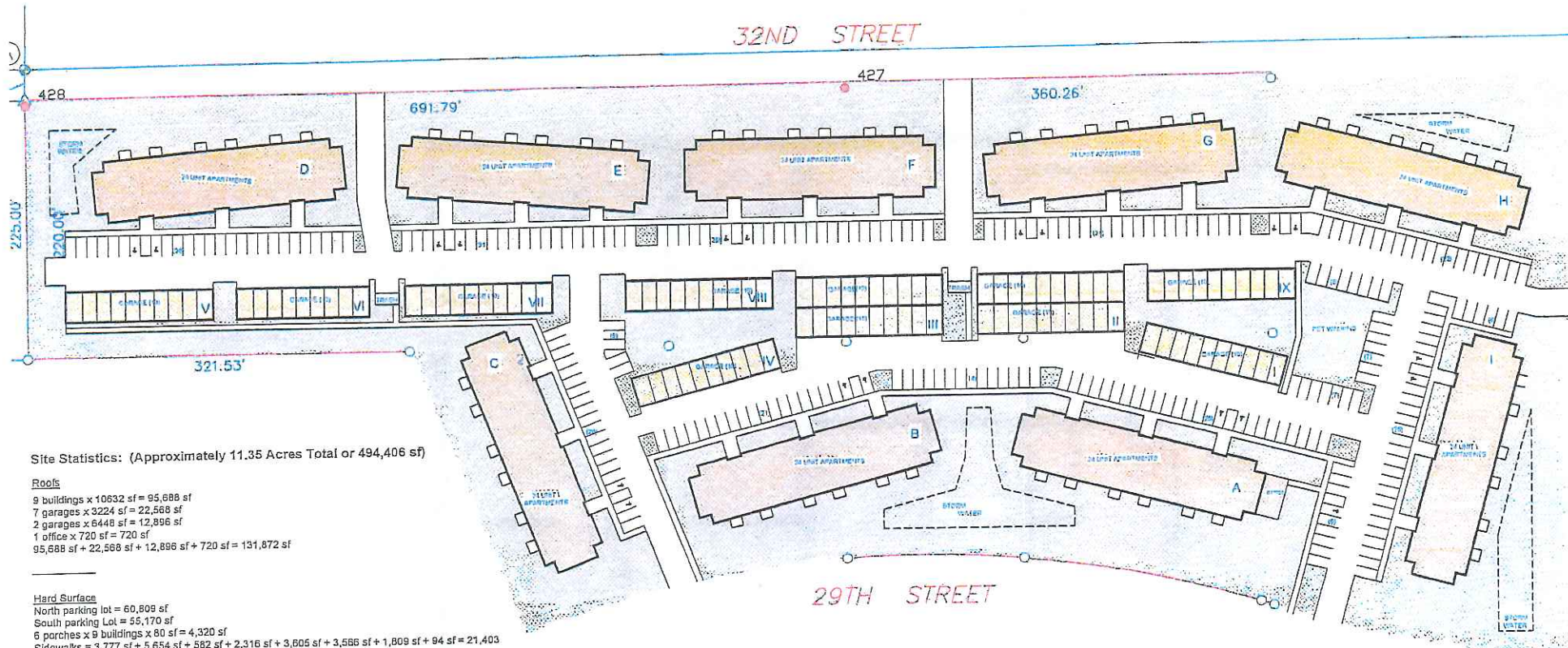


CONCEPTUAL DESIGN B
55 & OVER WORKFORCE HOUSING PROJECT
 ANEW DEVELOPMENT LLC

DATE: 03-04-19
 JOB NO.: 3111X
 DRAWN: COP
 CHECKED: KAS
 TITLE: CONCEPTUAL ENLARGED FLOOR PLANS
 SHEET NO: D1.1



32ND STREET



29TH STREET

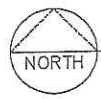
Site Statistics: (Approximately 11.35 Acres Total or 494,406 sf)

Roofs
 9 buildings x 10632 sf = 95,688 sf
 7 garages x 3224 sf = 22,568 sf
 2 garages x 6448 sf = 12,896 sf
 1 office x 720 sf = 720 sf
 95,688 sf + 22,568 sf + 12,896 sf + 720 sf = 131,872 sf

Hard Surface
 North parking lot = 60,809 sf
 South parking Lot = 55,170 sf
 6 porches x 9 buildings x 80 sf = 4,320 sf
 Sidewalks = 3,777 sf + 5,654 sf + 582 sf + 2,316 sf + 3,605 sf + 3,586 sf + 1,809 sf + 94 sf = 21,403 sf
 2 Dumpsters x 200 sf = 400 sf
 60,809 sf + 55,170 sf + 4,320 sf + 21,403 sf + 400 sf = 142,102 sf

Grass, Drainage & Pervious Surface
 92,228 sf property size - 131,872 sf (roof) - 142,102 sf (hard surfaces) = 218,254 sf (44% Pervious)

Parking Facility
 110 Garage Stalls of which 22 are HC
 266 Surface Stalls of which 19 are HC



SITE - SCHEME E

1" = 80'-0"

Fountain Springs Apartments

Fifty & Over Workforce Housing

870 East 29th Street
Fremont, Dodge County, Nebraska

April 8th, 2019 - Issued for Preliminary Pricing & Review

OWNER
"NAME / ORGANIZATION"
"Address"
"City, State, Zip"
"Phone"
"Name"
"email address"

ARCHITECT
K.A. SHOOK DESIGN, LLC
"Address"
"City, State, Zip"
"Phone"
"Name"
"email address"

CIVIL ENGINEER
"NAME / ORGANIZATION"
"Address"
"City, State, Zip"
"Phone"
"Name"
"email address"

STRUCTURAL ENGINEER
"NAME / ORGANIZATION"
"Address"
"City, State, Zip"
"Phone"
"Name"
"email address"

MECHANICAL/ELECTRICAL/PLUMBING ENGINEER
"NAME / ORGANIZATION"
"Address"
"City, State, Zip"
"Phone"
"Name"
"email address"



GENERAL CODE REVIEW

USE GROUP / ASSOCIATION	BUILDING DESCRIPTION BC USE GROUP	APARTMENT BUILDING (4 UNITS) R2
URBAN LABELATIONS	BUILDING DESCRIPTION BC ALLOWABLE	2 STORY - 1664 SQFT, EACH FLOOR 78 - 100 SQFT, PER UNIT 2 STORY - 1 STORY (BIR SPRINKLER) - 3 STORY 1000 SQFT, (R2) - 4400 SQFT, (PREMISES) 1000 - 1600 - 1670 SQFT, 3 UNITS, SQFT, OK
TYPE OF CONSTRUCTION	BUILDING DESCRIPTION BC CONSTRUCTION TYPE	STICK FRAME W/ WOOD TRUSSES 55
SPRINKLER SYSTEM	BC 503	R - REQUIRED BY IBC 2012.8 INSTALL NFPA OR PER IBC 503.1.1.2
HANDRAIL ELEVATION	BC 507	R2 + 24 UNITS + UNITS + NO ALL UNITS (3 STORIES ABOVE EXIT DISCHARGE STORY + OK ALL UNITS ABOVE LEVEL OF EXIT DISCHARGE) OK REQUIRED OR PROVIDE OCCUPANT NOTIFICATION UPON SPRINKLER WATER FLOW PER IBC TOTAL DESCRIPTION
GLAZING	BC 1009.1 BC 1009.2	44" EXCEPT 41 3/4" F O.L. (50 8 (50 + 36" ALLOWED 1500 REQ'D + 100"
EGE	BC 1709 BC 1004.3 BC 1002	1) 10 FOR "10" USE REQUIRE 1/2 HOUR RATING 34 (10) + REQUIRED ONE EXIT PER 2ND FLOOR + 4 UNITS AND ONE TRAVEL DISTANCE 4 + 4 OK AND 13 (10) OK 2000 MAX TRAVEL DISTANCE D01 1200L OK
ELECTRICAL CODES	BC 260.1	100 - 1 PER UNIT 150 - 1 PER UNIT BATH - 1 PER UNIT KITCHEN - 1 PER UNIT

LIFE SAFETY & EGRESS NOTES

CONSTRUCTION TYPE	TYPE VS.
OCCUPANCY	R2 RESIDENTIAL
1 HOUR SEPARATION FOR WALL & FLOORING ASSEMBLIES IS REQUIRED AND PROVIDED TO SEPARATE DWELLING UNITS	
MAXIMUM FLOOR ALLOWANCES PER OCCUPANT	
R2 RESIDENTIAL - 100 SQFT, GROSS PER OCCUPANT	10 OCCUPANTS PER UNIT
TOTAL ALLOWABLE NUMBER OF OCCUPANTS +	SINGLE MEANS OF EGRESS
TOTAL OCCUPANTS + 0 UNITS + 20 OCC. +	140 OCCUPANTS PER STORY
	140 OCCUPANTS TOTAL
EXIT ACCESS TRAVEL DISTANCE	10 FEET FOR STORES WITH ONE EXIT ACCESS
R - SPRINKLERED	
TOTAL EGRESS WIDTH REQUIRED + 480 x 0"	+ 36"
TOTAL EGRESS WIDTH PROVIDED + 163 31"	+ 80"
EGRESS DOORS SHALL HAVE A MINIMUM CLEAR WIDTH OF NOT LESS THAN 32"	
MINIMUM NUMBER OF EXITS REQUIRED	+ 2 PER UNIT GROUP
EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.	

SPRINKLER NOTES

- SPRINKLER EQUIPMENT IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND DETAILS
- PROVIDE BLOCKING IN WALLS AS REQUIRED BY MANUFACTURER FOR ALL WALL MOUNTED EQUIPMENT
- PROVIDE RESIDENTIAL SPRINKLER SYSTEM (R2) PER NFPA AND IBC. PROVIDE BUILDING DEPT. SHOP DRAWINGS INCLUDING LOCATIONS OF HEADS FOR THE ENTIRE BUILDING. GENERAL CONTRACTOR TO PROVIDE FULL ENGINEERED DRAWINGS IF REQUIRED BY BUILDING DEPT.
- ALL EQUIPMENT SHALL BE UL LISTED.

GENERAL NOTES

- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND EACH OF HIS SUBCONTRACTORS TO REVIEW THE DRAWINGS TO ASSURE COORDINATION OF ALL WORK AFFECTING EACH TRADE. FAILURE TO REVIEW ALL CONTRACT DOCUMENTS FOR APPLICABLE ITEMS OF WORK SHALL NOT RELIEVE THE RESPONSIBLE PARTY FROM PERFORMING ALL WORK REQUIRED.
- CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING - NOTIFY "OWNER" ALL CONFLICTS WITHIN THE WORK.
 - DRAWINGS - THESE DRAWINGS SHALL NOT BE SCALED. REFER TO DIMENSIONS NOTICED. ACTUAL SIZES OF CONSTRUCTION FITS OR OTHER FINISHES OF LOCATING CONSTRUCTION. WHERE NO DIMENSION OR PERIOD OF DETERMINING A LOCATION IS GIVEN, VERIFY CORRECT LOCATION WITH "OWNER" PRIOR TO INSTALLATION.
 - DIMENSIONS - DIMENSIONS ON PLANS ARE FROM FACE OF CONCRETE, MASONRY, OR FINISH UNLESS OTHERWISE NOTED. DIMENSIONS INDICATED AS "CLEAR" SHALL BE A MINIMUM DIMENSION, FACE TO FACE OF FINISH MATERIALS.
 - COORDINATION - GENERAL CONTRACTOR SHALL COORDINATE REQUIREMENTS OF ALL TRADES TO ALLOW FOR FIELD ACCESS IN THE WORK, SO AS NOT TO DELAY THE WORK OR THE WORK OF ANY SUBCONTRACTOR.
 - EQUIPMENT - REFER TO EQUIPMENT SCHEDULE FOR ADDITIONAL INFORMATION. VERIFY ANY REQUIREMENTS FOR RISE/SHIM OR CONNECTION PRIOR TO CONSTRUCTION TO ASSURE CORRECT INSTALLATION, OPENINGS, ELECTRICAL, MECHANICAL, BLOCKING, ETC.
 - DUCTS, PIPE, CONDUIT, ETC. - ALL VERTICAL AND HORIZONTAL DUCTS, PIPES, CONDUIT, ETC. HANDLES SHOWN OR WITH UNFINISHED ROOFS SHALL BE LOCATED WITHIN WALLS OR ABOVE FINISHED CEILING. ITEMS THAT CANNOT BE LOCATED WITHIN WALLS OR CEILING SHALL BE TURNED IN AND FINISHED TO MATCH ADJACENT SURFACES AND ANY REQUIRED WALL OR CEILING FINISHES. VERIFY ACCEPTABILITY WITH "OWNER" PRIOR TO ENCLOSURE.
 - FIXTURES - LUMINAIRES AND SIGNS SHALL BE INSTALLED A MINIMUM OF 4" FROM FINISHED SIDE WALLS. FIXTURES SHALL BE INSTALLED WITH A MINIMUM OF 5" FROM THE GULLET TO THE FLOOR RISE OF SIGN, INCLUDING THOSE EQUIPPED WITH VACUUM INTERRUPTERS. WATER CLOSETS SHALL BE INSTALLED A MINIMUM OF 6" FROM FINISHED SIDE WALLS TO CENTERLINE OF FIXTURES.
 - BLOCKING - BLOCKING OUTSIDE THE BUILDING ENVELOPE OR SUBJECT TO HOIST OR WIND CONDITIONS SHALL BE PRESURE TREATED AND USE CORROSION RESISTANT FASTENERS.
 - ACCESS DOORS - FINISH AND INSTALL ACCESS DOORS IN WALLS AND NON-ACCESSIBLE TYPE CEILING WHERE SERVICE OR ADJUSTMENT TO MECHANICAL, FIRE PROTECTION, PLUMBING, ELECTRICAL, OR OTHER EQUIPMENT IS REQUIRED. WHERE WALL OR CEILING IS REQUIRED TO BE RATED, PROVIDE ACCESS DOORS OF FIRE RATING EQUAL TO THE ASSEMBLY IN WHICH THEY OCCUR.
 - EXISTING CONDITIONS - THE EXISTING CONDITIONS SHOWN ON THESE DRAWINGS ARE BASED ON INFORMATION PROVIDED TO "OWNER". THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON THE JOB SITE AND NOTIFY "OWNER" OF DEVIATIONS FROM THESE DRAWINGS PRIOR TO FABRICATION AND INSTALLATION OF THE WORK.
 - PRECAUTIONS - IF INDESTRUCTIBLE CONDITIONS ARE DISCOVERED WHICH COULD RESULT IN DAMAGE TO THE STRUCTURE OR HAZARD TO OCCUPANTS, REPORT ANY SUCH CONDITION IMMEDIATELY TO "OWNER". TAKE PRECAUTIONS TO PRESERVE THE STRUCTURE.
 - HAZARDOUS MATERIALS - CONTRACTOR SHALL IMMEDIATELY REPORT THE DISCOVERY OF ANY HAZARDOUS MATERIALS TO "OWNER".
 - SAFE USAGE - USE OF THE SITE FOR ANY CONSTRUCTION STAGING OR OTHER OPERATIONS SHALL BE COORDINATED WITH "OWNER". TAKE CARE NOT TO BLOCK OR ADVERSELY AFFECT ANY PUBLIC OR ADJACENT OWNER AREAS, EXIT ACCESS, HANDICAPPED ACCESS, AND APPROVED YEARS OF EGRESS IN AND OUT OF PROJECT LOCATION IN ACCORDANCE WITH REQUIREMENTS OF APPLICABLE REGULATORY AGENCIES.

SHEET INDEX

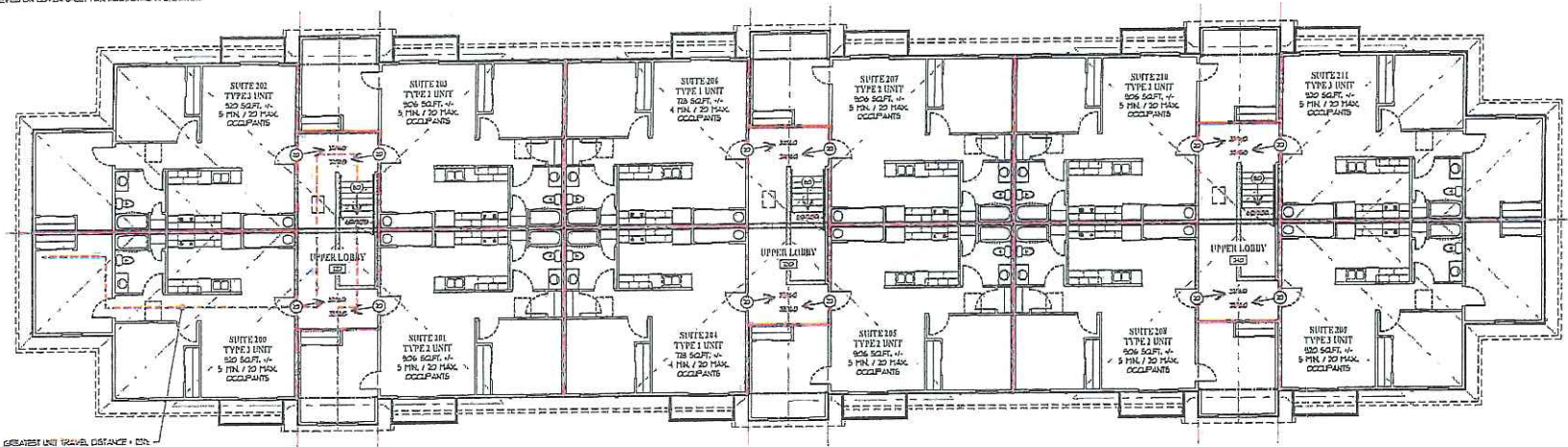
CIVIL	COVER SHEET / ARCHITECTURAL CODE REVIEW
A100	10/10/19, 11/10/19
A101	LIFE SAFETY - EGRESS PLAN
A200	OVERALL FLOOR PLANS
A301	ENLARGED FLOOR PLANS / UNIT PLANS
A302	ENLARGED FLOOR PLANS / UNIT PLANS
A303	ENLARGED FLOOR PLANS / UNIT PLANS
A301	ROOF PLAN
A400	EXTERIOR ELEVATIONS
A401	INTERIOR ELEVATIONS
A500	FOUNDATION PLAN
A501	FLOOR FRAMING PLAN
A502	ROOF FRAMING PLAN
A600	BUILDING & WALL SECTIONS
A601	BUILDING & WALL SECTIONS
A602	BUILDING & WALL SECTIONS



Fountain Springs Apartments
Fifty & Over Workforce Housing
870 East 29th Street
FREMONT, DODGE COUNTY, NEBRASKA

DATE: 04-08-19
JOB NO: CA18133
DRAWN: CDP
CHECKED: KAS
TITLE: COVER SHEET
SHEET NO: CVR

NOTE:
SEE CODE REVIEW ON COVER SHEET FOR ADDITIONAL INFORMATION

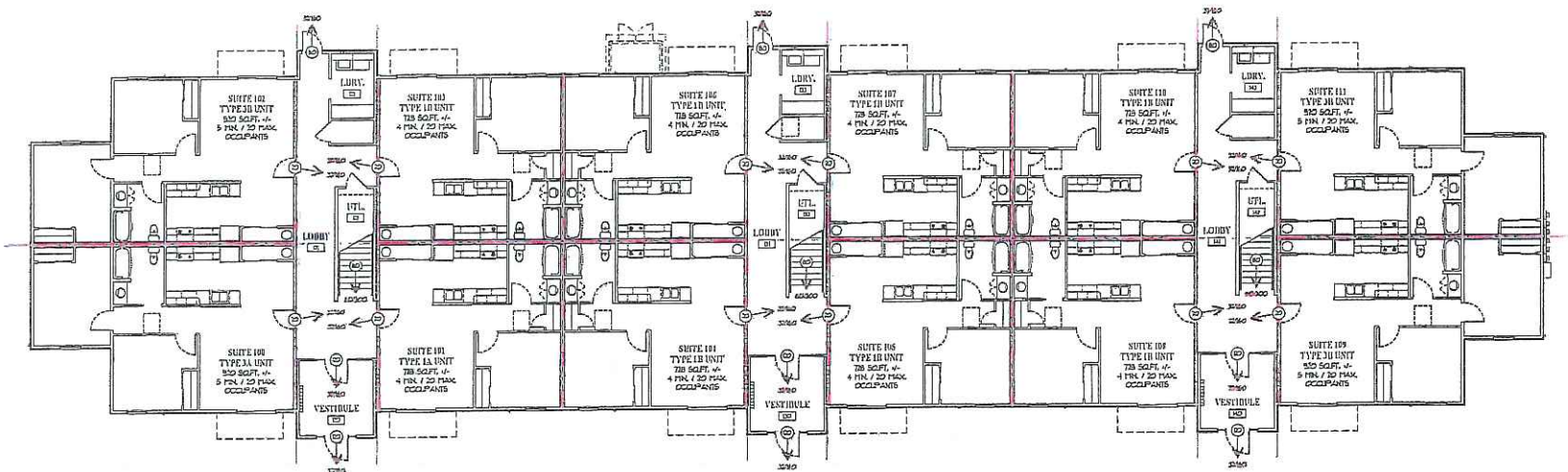


GREATEST UNIT TRAVEL DISTANCE = 170'

REQUIREMENTS FOR RATED ASSEMBLY:
CORRIDOR SEPARATION WALL ASSEMBLY = 1/2 HOUR RATED FPN
UNIT VERTICAL SEPARATION WALL ASSEMBLY = 1/2 HOUR RATED FPN
UNIT HORIZONTAL SEPARATION FLOOR/CILING ASSEMBLY = 1/2 HOUR RATED FPN

UPPER LEVEL
LIFE SAFETY / EGRESS PLAN
SCALE: 1/4" = 1'-0"

NUMBER OF OCCUPANTS
DIRECTION OF TRAVEL
CAPACITY OF OPENING (OCCUPANTS)
OPENING WIDTH (INCHES)



MAIN LEVEL
LIFE SAFETY / EGRESS PLAN
SCALE: 1/4" = 1'-0"

K. A. SHOOK DESIGN, LLC
ARCHITECTURAL AND DESIGN
1700 North 17th Street
Lincoln, NE 68501
402-491-2800
www.kashook.com



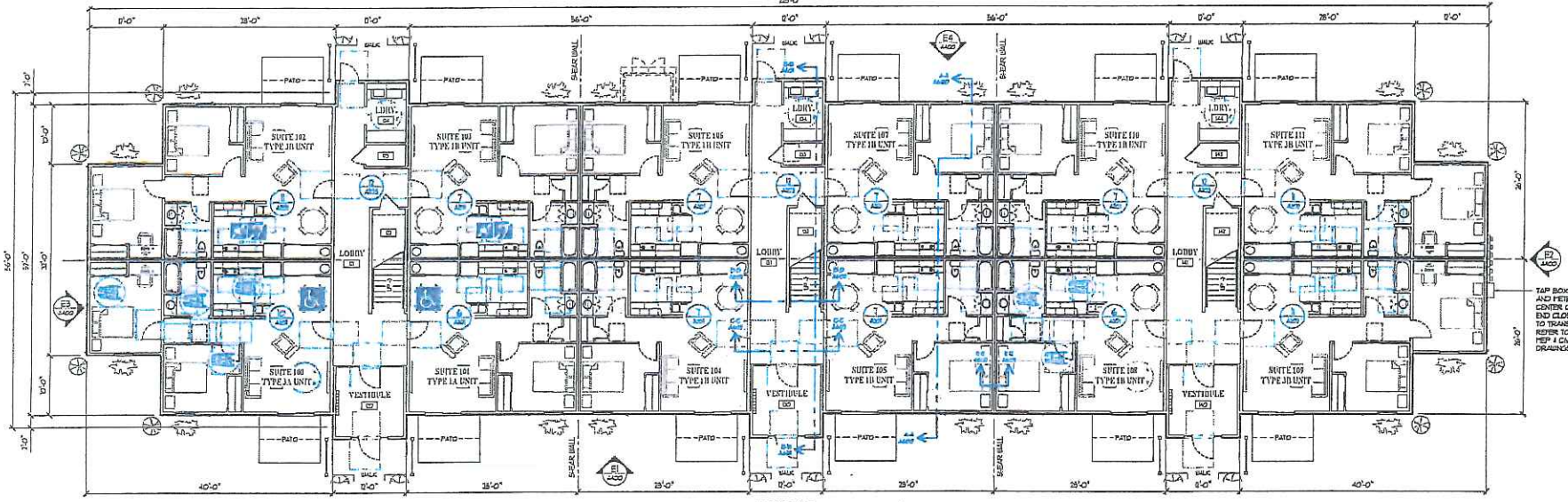
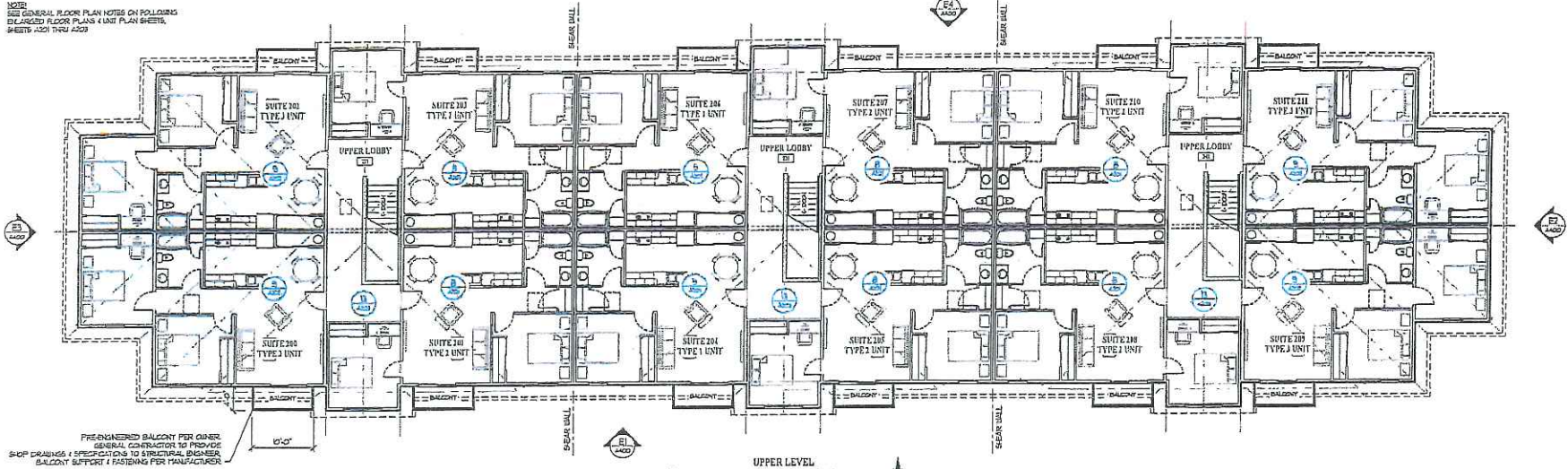
Fountain Springs Apartments
Fifty & Over Workforce Housing
870 East 31st Street
FREMONT, DODGE COUNTY, NEBRASKA

DATE: 04-08-19
JOB NO: DAI138
DRAWING: COP
CHECKED: KAS

TITLE:
LIFE SAFETY / EGRESS PLAN

SHEET NO.
A101

NOTE:
SEE GENERAL FLOOR PLAN NOTES ON FOLLOWING
ENLARGED FLOOR PLANS & UNIT PLAN SHEETS,
SHEETS A201 THRU A203



NOTE:
REFER TO ARCHITECTURAL SITE PLAN FOR
ACCESSIBLE TYPE 2A & 2B UNIT LOCATIONS ON EACH BUILDING

K. A. SHOOK DESIGN, LLC
ARCHITECTS AND ENGINEERS
100 SOUTH 14TH STREET
SUITE 101
DES MOINES, IOWA 50319
563-583-1000



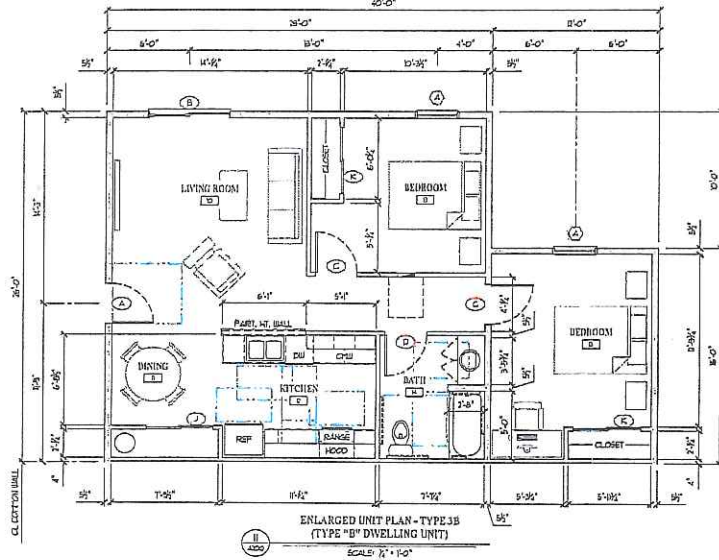
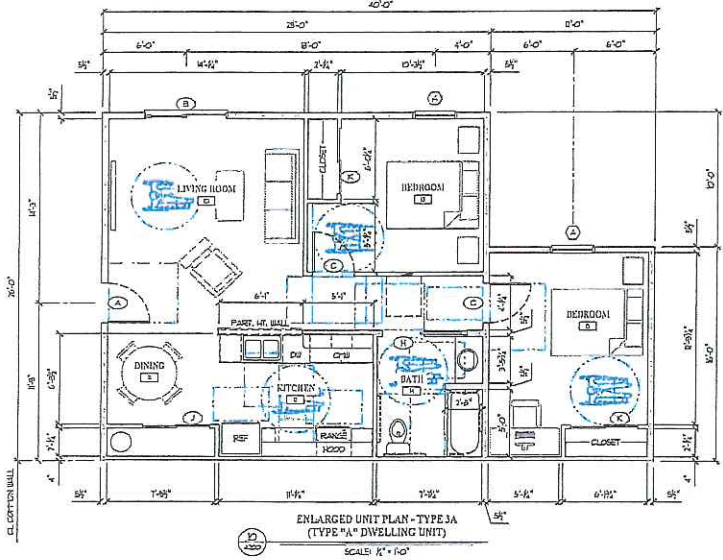
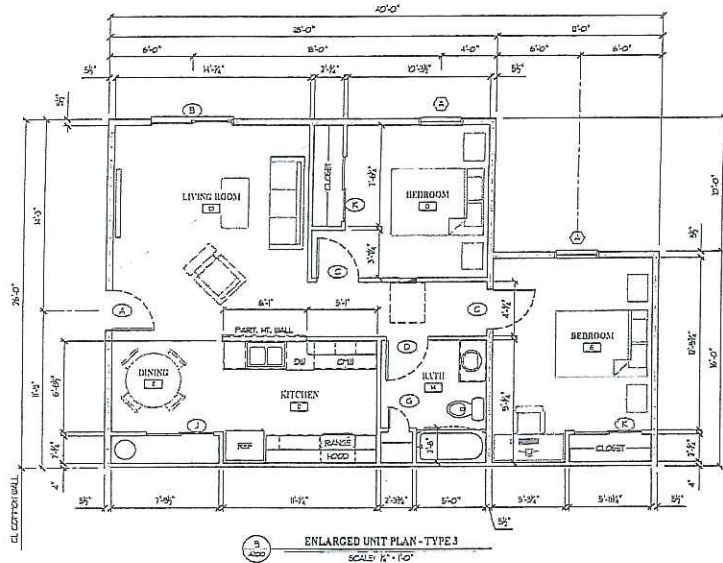
Fountain Springs Apartments
Fifty & Over Workforce Housing
870 East 28th Street
FREMONT, DODGE COUNTY, NEBRASKA

DATE: 04-08-18
JOB NO. 0418132
DRAWN: GDF
CHECKED: KAS

TAP BOX
AND PETER
CENTER ON
END CLOSEST
TO TRANS.
REFER TO
REF & CIVL
ORDINANCES

OVERALL
FLOOR PLANS

SHEET NO.
A200



FLOOR PLAN NOTES

- REFER TO A COORDINATE ALL STRUCTURAL, FOUNDATION, WALL, FRAMING, FLOOR FRAMING AND ROOF FRAMING INFORMATION WITH STRUCTURAL DRAWINGS PRIOR TO CONSTRUCTION.
- REFER TO A COORDINATE ALL MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS WITH THE DRAWINGS PRIOR TO CONSTRUCTION.
- SEE OVERALL FLOOR PLANS ON SHEET A200.
- ALL LOAD BEARING WALLS TO BE 8" STRUCTURAL GRADE FRAMING.
- ALL EXTERIOR WALLS ARE TO BE PRE-CUT 3/4" X 12" SILD FRAMING UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL DRAWINGS FOR SPACING AND FASTENING REQUIREMENTS.
- ALL NON-LOAD BEARING INTERIOR WALL PARTITIONS ARE TO BE PRE-CUT 2x4 6000 SILD FRAMING @ 16" O.C. MAX UNLESS NOTED OTHERWISE.
- PROVIDE NECESSARY BLOCKING FOR ALL CABINETS, SHELVING, GRAB BARS, ETC. SEE INTERIOR ELEVATIONS AND VERIFY WITH OWNER PRIOR TO CONSTRUCTION.
- RELATE WITH BOARD BAIT ALL EXTERIOR WALLS ADJACENT TO ANY MECHANICAL ROOMS, CLOSETS, OR CHANGES WITH ROOFS, LAUNDRY ROOMS, AND BATHROOMS.
- ALL BURNING COPPER LINES SHOWN FOR REFERENCE ONLY AND ARE TO BE SELECTED AND PROVIDED BY OWNER.
- INSTALL ALL FINISHES IN ACCORDANCE WITH MANUFACTURER REQUIREMENTS, SPECIFICATIONS, AND DETAILS.
- PROVIDE BLOCKING IN WALLS AS REQUIRED BY MANUFACTURER FOR ALL WALL MOUNTED EQUIPMENT.
- GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY AND PERMANENT BRACINGS AS REQUIRED.
- ALL OCCUPANT GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION 2017 EDITION IS HEREBY MADE PART OF THESE CONDITIONS.
- ALL WORK SHALL CONFORM TO ALL STATE, LOCAL AND ANY AUTHORITY HAVING JURISDICTION.
- IN FIRST FLOOR UNITS, PROVIDE BLOCKING IN WALLS IN BATHROOM FOR RUBER GRAB BARS.
- PROVIDE ACCESSIBLE ENTRANCE TO FRONT DOOR OF FIRST FLOOR UNITS UNLESS IT IS IMPRACTICAL TO DO BECAUSE OF THE TERRAIN OR UNUSUAL CHARACTERISTIC OF THE SITE (SEE 104 HOUR ACT DESIGN MANUAL).
- IF AN ADA ACCESSIBLE UNIT IS REQUIRED, CONTACT ARCHITECT FOR MODIFIED FLOOR PLAN.

K. A. SHOOK DESIGN, LLC
ARCHITECTS AND DESIGNERS
1508 SOUTH 10TH STREET
LINCOLN, NE 68502
402-441-4400
www.kashookdesign.com

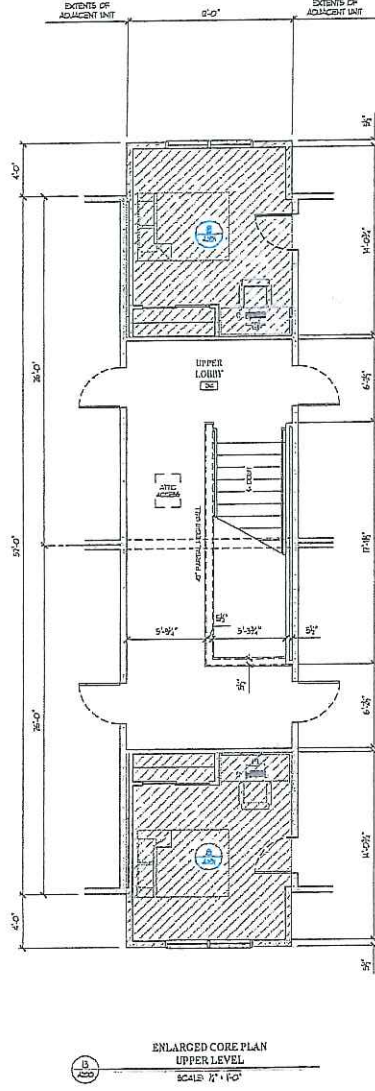
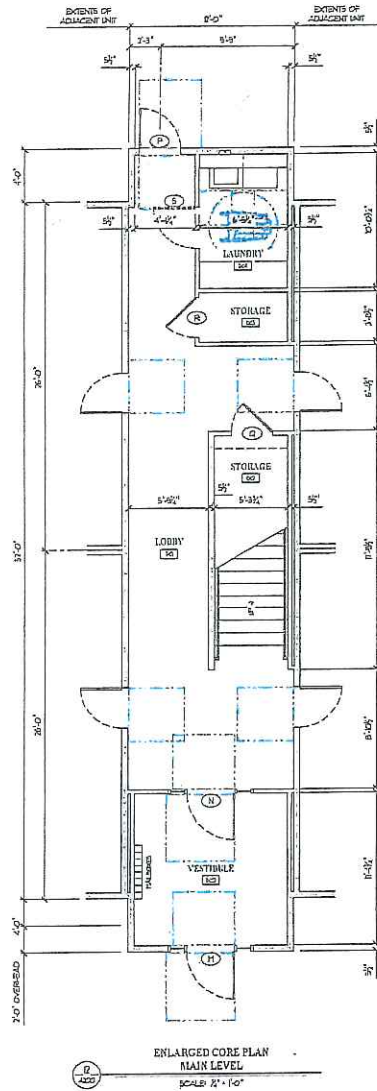


Fountain Springs Apartments
Fifty & Over Workforce Housing
870 East 28th Street
FREMONT, DODGE COUNTY, NEBRASKA

DATE:	04-08-19
JOB NO:	DA18138
DRAWN:	DDP
CHECKED:	KAS
TITLE:	

ENLARGED FLOOR PLANS UNIT PLANS

SHEET NO. A202



FLOOR PLAN NOTES

1. REFER TO 1 COORDINATE ALL STRUCTURAL FOUNDATION WALL FRAMING, FLOOR FRAMING, AND ROOF FRAMING INFORMATION WITH STRUCTURAL DRAWINGS PRIOR TO CONSTRUCTION.
2. REFER TO 1 COORDINATE ALL MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS WITH MEP DRAWINGS PRIOR TO CONSTRUCTION.
3. SEE OVERALL FLOOR PLANS ON SHEET 2000.
4. ALL LOAD BEARING WALLS TO BE 3/4" STRUCTURAL GRADE FRAMING.
5. ALL INTERIOR WALLS ARE TO BE PRE-CUT 2x4 WOOD TRIM FRAMING UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL DRAWINGS FOR SPACING AND FASTENING REQUIREMENTS.
6. ALL NON-LOAD BEARING INTERIOR WALL PARTITIONS ARE TO BE PRE-CUT 3/4" WOOD 5/8" D FRAMING @ 16" O.C. 1/2" UNLESS NOTED OTHERWISE.
7. PROVIDE NECESSARY BLOCKING FOR ALL CABINETRY, SHELVING, GRAB BARS, ETC. SEE INTERIOR ELEVATIONS AND VERIFY WITH OWNER PRIOR TO CONSTRUCTION.
8. INSULATE WITH FOAM BATT ALL INTERIOR WALLS ADJACENT TO ANY MECHANICAL ROOFS, CLOSETS, OR CHANGES IN LEVEL. REFER TO LAUNDRY ROOMS, AND BATHROOMS.
9. ALL FURNITURE & APPLIANCES SHOWN FOR REFERENCE ONLY AND ARE TO BE SELECTED AND PROVIDED BY OWNER.
10. INSTALL ALL FINISHES IN ACCORDANCE WITH MANUFACTURER REQUIREMENTS, SPECIFICATIONS, AND DETAILS.
11. PROVIDE BLOCKING IN WALLS AS REQUIRED BY MANUFACTURER FOR ALL WALL MOUNTED EQUIPMENT.
12. GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY AND PERMANENT BRACING AS REQUIRED.
13. AIR CONDITIONING GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION 2017 SECTION 5 IS HEREBY MADE PART OF THESE DOCUMENTS.
14. ALL WORK SHALL CONFORM TO ALL STATE, LOCAL, AND ANY AUTHORITY HAVING JURISDICTION.
15. IN FIRST FLOOR UNITS, PROVIDE BLOCKING IN WALLS IN BATHROOM FOR FUTURE GRAB BARS.
16. PROVIDE ACCESSIBLE ENTRANCE TO FRONT DOOR OF FIRST FLOOR UNITS UNLESS IT IS IMPRACTICAL TO DO SO DUE TO THE TERRAIN OR UNUSUAL CHARACTERISTICS OF THE SITE. SEE ALSO EARLY WORKING ARCHITECT DESIGN MANUAL.
17. IF AN ADA ACCESSIBLE UNIT IS REQUIRED, CONTACT ARCHITECT FOR MODIFIED FLOOR PLAN.

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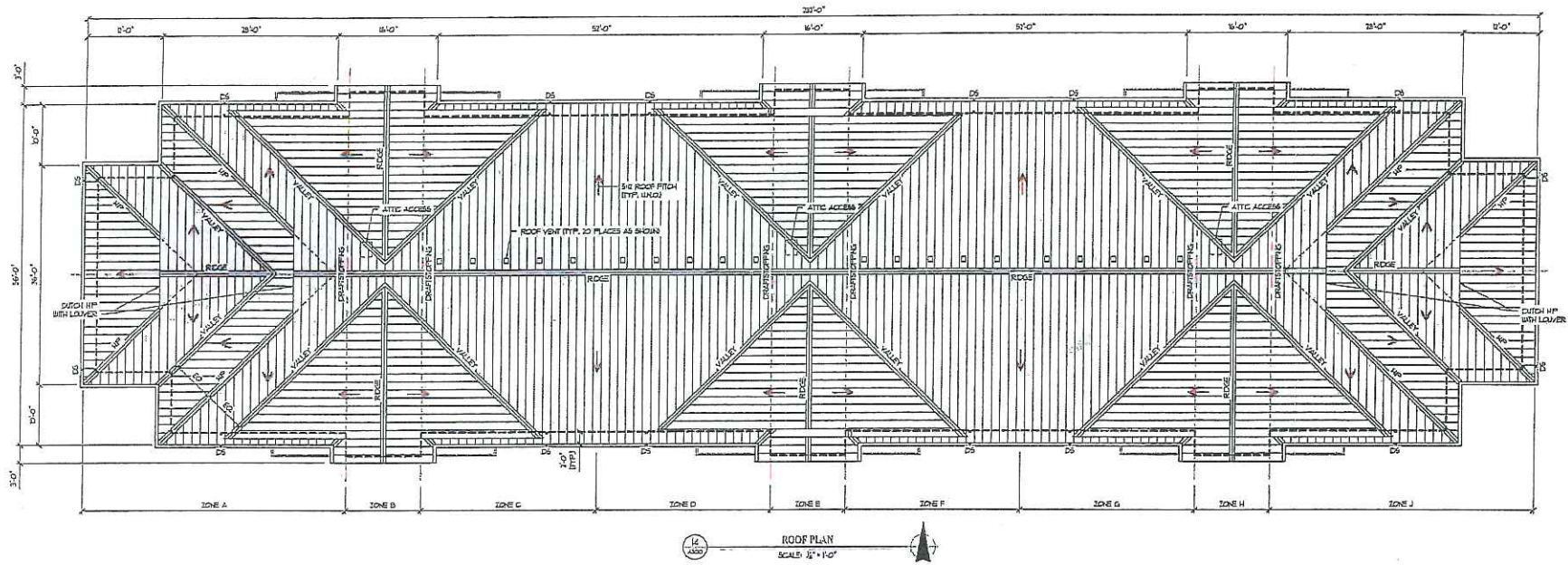


**Fountain Springs Apartments
 Fifty & Over Workforce Housing**
 FREMONT, BOULDER COUNTY, NEBRASKA

DATE: 04-09-19
 JOB NO: 0418133
 DRAWN: CDR
 CHECKED: KAS

TITLE:
 ENLARGED
 FLOOR PLANS
 / CORE PLANS

SHEET NO.
A203



ROOF PLAN
SCALE: 1/4" = 1'-0"

ATTIC VENTILATION NOTES

ZONES A & H ATTIC VENTING VENTING REQUIRED*	(1840 / 60) (14) (1/2) *	1840 SQ.FT. 884 SQ.IN.
ROOF VENT PROVIDED: TRIANGULAR LOWERS	8 LF 9 1/2" LF * 71 UNDS *	334 SQ.IN. 765 SQ.FT.
TOTAL PROVIDED		1059 SQ.IN.
ZONES B, E & I ATTIC VENTING VENTING REQUIRED*	(720 / 60) (14) (1/2) *	720 SQ.FT. 348 SQ.IN.
ROOF VENT PROVIDED:	58 LF 9 1/2" LF *	1084 SQ.IN.
TOTAL PROVIDED		1044 SQ.IN.
ZONES C, D, F & G ATTIC VENTING VENTING REQUIRED*	(1456 / 60) (14) (1/2) *	1456 SQ.FT. 699 SQ.IN.
ROOF VENT PROVIDED: ROOF VENTS & 3 (16.5 SQ IN) 5 VENTS *	24 LF 9 1/2" LF * 302 SQ.IN.	432 SQ.IN. 370 SQ.FT.
TOTAL PROVIDED		1071 SQ.IN.

ROOF PLAN NOTES

1. ALL ROOF CONSTRUCTION & INSTALLATIONS TO COMPLY WITH CURRENT INTERNATIONAL RESIDENTIAL CODE CHAPTERS R & R 10.
2. REFER TO & COORDINATE ALL STRUCTURAL, ROOF FRAMING INFORMATION WITH STRUCTURAL DRAWINGS PRIOR TO CONSTRUCTION.
3. REFER TO & COORDINATE ALL MECHANICAL, PLUMBING, AND ELECTRICAL REFS WITH MEP DRAWINGS PRIOR TO CONSTRUCTION.
4. ROOFING TO BE 30GA STANDING SEAM METAL ROOFING 16" WIDE w/ 1" RUBBER OR APPROVED EQUAL. MANUFACTURER STYLE AND COLOR PER OWNER.
5. INSTALL NECESSARY ROOF LEAK BARRIERS AND ICE DAM PROTECTION PER MANUFACTURER / SUPPLIER RECOMMENDATIONS. INSTALL SACS / ICE GUARD ON ALL ROOF AREAS ADJACENT TO BALCONIES, PATIOS, ENTRANCES, SIDEWALKS, OR OTHER OCCUPYABLE AREAS.
6. INSTALL PERMANENT TYPE IC ALUMINUM GUTTER w/ 3/4" ALUMINUM DOWNSPOUTS. COLOR / LOCATIONS TO BE VERIFIED BY OWNER.
7. INSTALL 1/2" DRAFTSTOPPING TO ADJACENT TRUSS WHERE SHOWN. INSTALL SPRING LOADED 3/4" x 5/8" ACCESS DOOR IN CENTER OF DRAFTSTOPPING AT EACH LOCATION.
8. OPTIONAL ATTIC BALCONY ENTIRE LENGTH OF BUILDING. 1 1/2" SHEATHING 2" WIDE OVER 2x BRANDED OVER TRUSS BOTTOM CHORDS. WALKWAY SHALL NOT REDUCE INSULATION THROUGHOUT IN ANY WAY.

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LINCOLN, NE 68501
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DATE OF SET: 04-08-19

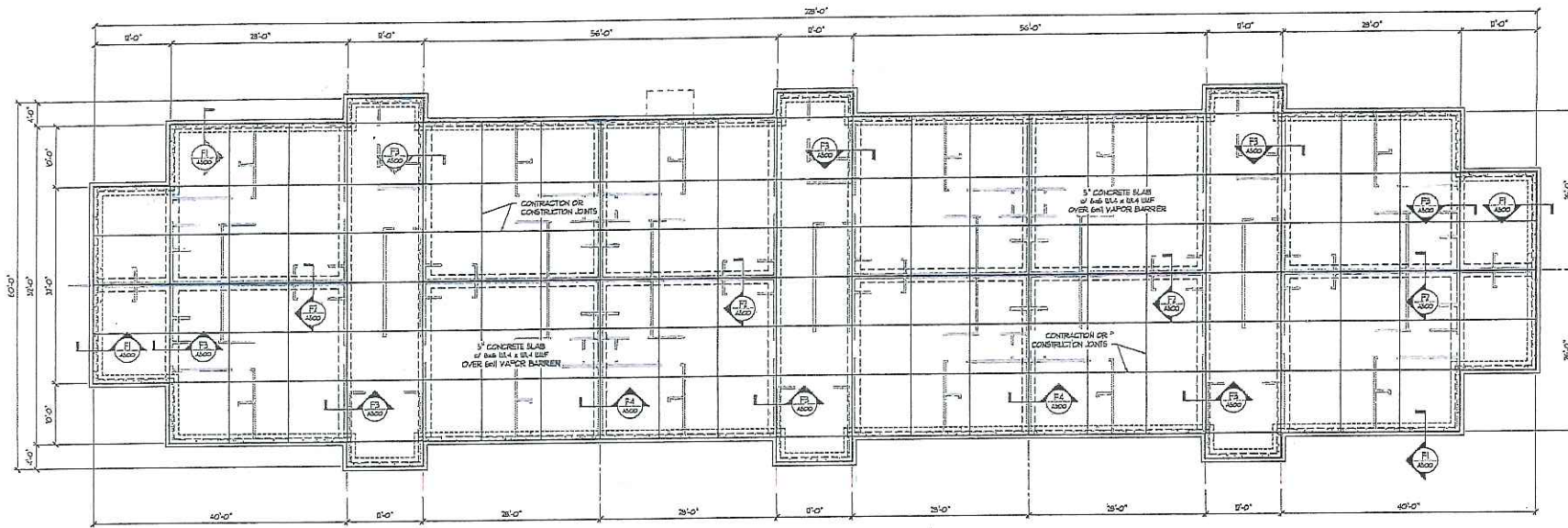


Fountain Springs Apartments
Fifty & Overworkforce Housing
670 BARBER BLVD
FREMONT, LODGE COUNTY, NEBRASKA

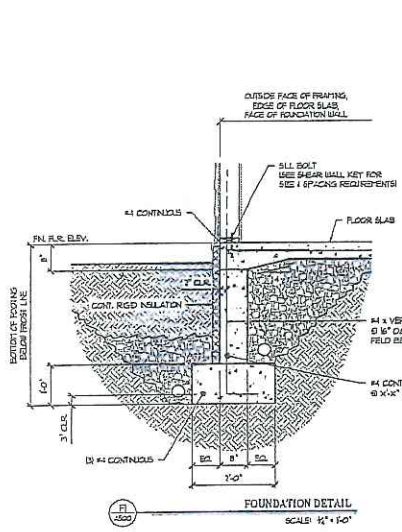
DATE: 04-08-19
JOB NO: DAH133
DRAWN: DDP
CHECKED: KAS

TITLE: ROOF PLAN

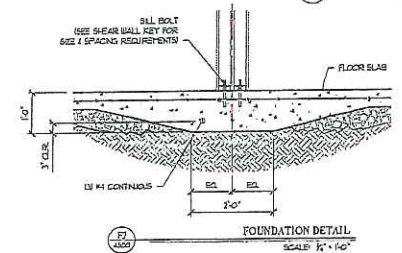
SHEET NO: A300



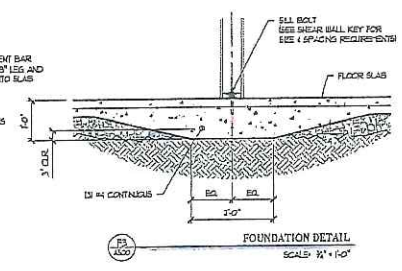
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



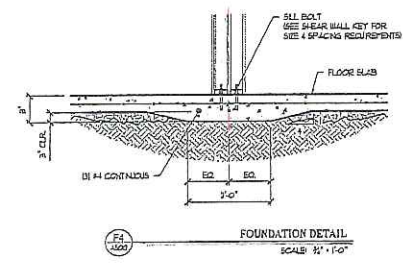
FOUNDATION DETAIL
SCALE: 1/4" = 1'-0"



FOUNDATION DETAIL
SCALE: 1/4" = 1'-0"



FOUNDATION DETAIL
SCALE: 1/4" = 1'-0"



FOUNDATION DETAIL
SCALE: 1/4" = 1'-0"

FOUNDATION NOTES

- G.C. SHALL PROVIDE TEMP. AND PERMANENT BRACING AS REQUIRED.
- ALL FOUNDATIONS TO BE ON VIBRATED SOIL.
- ALL FOUNDATIONS ASSUME SOIL PRESSURE OF 1500 PSF. NOTIFY ARCHITECT/ENGINEER IF SOILS DO NOT BEHAVE AS ANTICIPATED.
- ALL DOCUMENTS "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" 2011 EDITION & HEREIN MAKE PART OF THESE DOCUMENTS.
- ALL WORK SHALL CONFORM TO ALL STATE, LOCAL, AND ANY AUTHORITY HAVING JURISDICTION.
- TREAT GRAUND WITH TERMITES PROTECTION.
- CONCRETE WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE LATEST AMERICAN CONCRETE INSTITUTE RECOMMENDATIONS.
- COMPLY WITH SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS LATEST 2011, AND 308, 401 & 401.506 FOR UNDER CONCRETE.
- PROVIDE CONCRETE WITH FOLLOWING 28 DAY SPECIFIED STRENGTHS:
 - 51. 4500 PSI WITH 4% AIR ENTRAINMENT - CONCRETE EXPOSED TO THE WEATHER IN THE FINISHED STRUCTURE. WATER CO-EFF.
 - 52. 3000 PSI WITH 3% AGGREGATE 1" SLUMP - PLASTER GROUT FILL.
 - 53. 3000 PSI WITHOUT ENTRAINMENT AIR - SLAB ON GROUND.
 - 54. 3000 PSI WITHOUT ENTRAINMENT AIR - ALL OTHER CONCRETE UNLESS NOTED.
- TESTING LABORATORY TO NOTIFY ONE COPY OF ALL CONCRETE TEST REPORTS.
- PROVIDE REINFORCING STEEL WITH 40K, A615, A618, TYPE R OR TYPE A.
- REINFORCE ALL SLABS WITH ONE LAYER OF WELDED WIRE FABRIC MEETING ASTM A646-05 FOLLOWING UNLESS NOTED OR UNLESS BOTTOM REINFORCING BARS ARE SHOWN - SLABS ON GROUND AND ALL OTHER SLABS.
- LAP ALL COMPRESSION BARS 30 BARS DIAMETERS. PROVIDE TENSION LAPS AND FOOTING REINFORCEMENT. LAP ALL TENSION SPLICES IN THE FOLLOWING: PROVIDE LAPS IN ACCORDANCE WITH THE FOLLOWING TABLE (CLASS B SPLICES CATEGORY 3 UNLESS NOTED OTHERWISE):

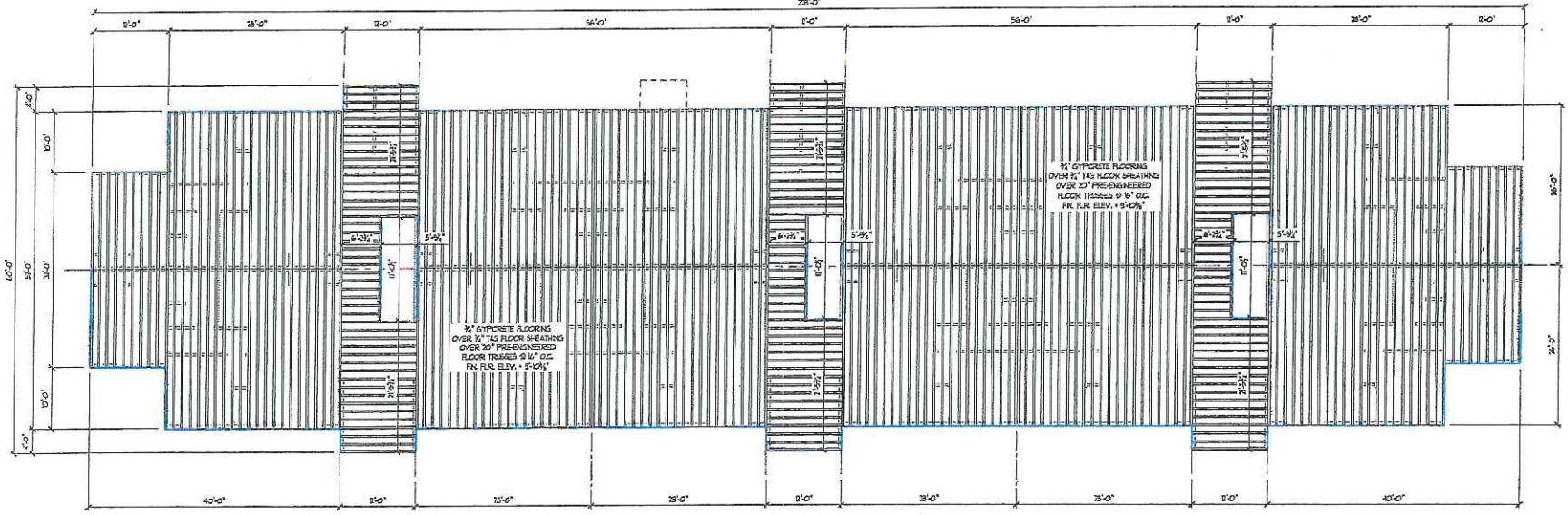
BAR SIZE	#3	#4	#5	#6	#7	#8	#9	#10	#11	#12
TOP BARS	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
OTHER BARS	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
- HORIZONTAL BARS WITH MORE THAN 3 INCHES OF CONCRETE BELOW THEM SHALL BE LAP SPICED WITH A LAP LENGTH OF 12 INCHES. LAP LENGTH SHALL BE 12 INCHES UNLESS OTHERWISE NOTED.

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Fountain Springs Apartments
Fifty & Overworkforce Housing
870 East 28th Street
FREMONT, DODGE COUNTY, NEBRASKA

DATE: 04-08-19
JOB NO.: 0418192
DRAWN: CSB
CHECKED: KAS
TITLE: FOUNDATION PLAN
SHEET NO.: A500



51
1/4" = 1'-0"
FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

- TRUSS NOTES**
1. ALL TRUSS MEMBERS TO SOUTHERN PINE
 2. TRUSS MANUFACTURER TO ENGINEER TRUSSES AND FURNISH SHOP DRAWINGS TO ARCHITECT AND BUILDING DEPARTMENT INDICATING CHORD LOADS AND BRACING LOCATION. SHOP DRAWINGS TO BE SEALED BY REGISTERED ENGINEER IN THE STATE OF NEBRASKA
 3. TRUSS TYPE SECTION FOR DIAGRAM AND CLARIFICATION ONLY
 4. TRUSS MANUFACTURER RESPONSIBLE FOR ALL SCRIBED CONNECTIONS - LOADING VERTICAL MEMBERS ABOVE ALL INTERIOR LATERALLY BRACING WALLS
 5. DESIGN LOADS:

TOP CHORD	LL 25 PSF	DL 10 PSF
BOTTOM CHORD	LL 10 PSF	
TOTAL	35 PSF	
DESIGN WIND SPEED	70 MPH	
DESIGN SNOW	7	
 6. TRUSS ERECTOR SHALL PROVIDE TEMP. AND PERMANENT BRACINGS AS REQUIRED.

- FRAMING NOTES**
1. PROVIDE SIPHON HURRICANE CLIP AT EACH TRUSS/RAFTER
 2. ALL STRUCTURAL WOOD MEMBERS SOUTHERN PINE #2. CONSULT INTERNATIONAL RESIDENTIAL CODES FOR SPACING AND EDGE FOR ALL OTHER SPECIES AND GRADES
 3. LINTELS AND BEAMS 1 1/2" x 10" SIPS
 4. ALL EXTERIOR WOOD STRUCTURAL TO BE TREATED LUMBER
 5. ALL EXTERIOR SIPHON HANGERS OR CLIPS TO BE GALVANIZED
 6. THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETED. IT IS THE GENERAL CONTRACTOR'S SOLE RESPONSIBILITY TO OBSERVE CREATION PROCEDURE AND SEQUENCE AND TO INSURE THE SAFETY OF THE BUILDING AND COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF BRACKETED TEMP BRACKS, CHYS, OR TIE COLUMNS WHICH MIGHT BE NECESSARY. SUCH MATERIAL SHALL REMAIN THE CONTRACTOR'S PROPERTY AFTER COMPLETION OF THE PROJECT.
 7. SPECIFICATIONS AND STANDARDS: DESIGN AND DETAILING OF CONNECTIONS CONSTRUCTION AS RECOMMENDED BY NATIONAL FOREST PRODUCTS ASSOCIATION
 8. MATERIALS USE ONLY DRYING GRADE LUMBER WITH THE FOLLOWING MINIMUM PROPERTIES FOR DIMENSIONAL LUMBER FRAMING:

TITLE OF MEMBER	PSI	MO	1000000 PSI
TRUSSES	20000	50	1000000
JOISTS & HEADERS	20000	50	1000000
BEAMS	20000	50	1000000
 9. TRUSSES - SEE TRUSS NOTES
 10. ALL STRUCTURAL LUMBER SHALL BE KILN DRIED TO 6% MOISTURE CONTENT.
 11. PLYWOOD SHEATHING:

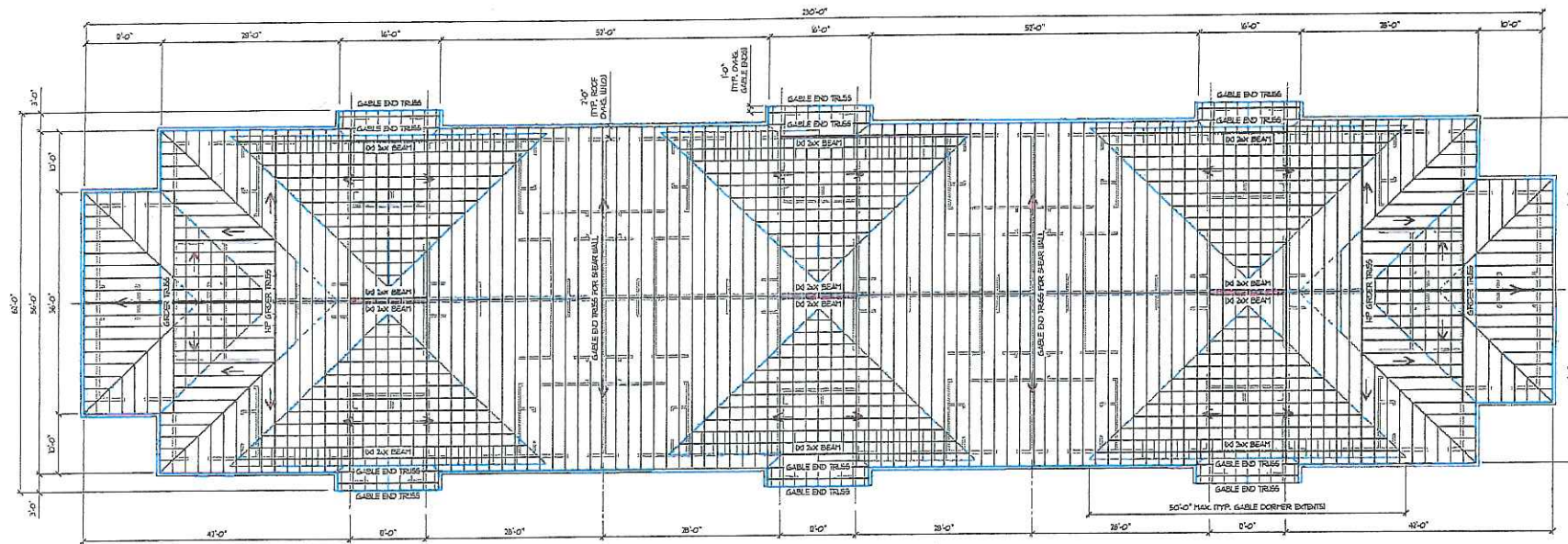
101	ROOF	5/8"	TONGUE AND GROOVE PLYWOOD APA C-D WENT, GUE
			PANEL NO. 240
 12. PLYWOOD FILLERS ARE CALLED OUT WITH LINTELS, THEY SHALL BE CONTINUOUS PIECES FOR LENGTH OF OPENING AND SHALL BE NAILED TO 2x5 WITH TWO ROWS OF 16# NAILS AT 12" C/C
 13. ALL MULTIPLE STUDS AT BEAM AND Lintel BEARING SHALL BE NAILED TOGETHER WITH TWO ROWS 16# @ 12" C/C
 14. MULTIPLE TRUSS BEAMS AND LINTELS SHALL BE NAILED TOGETHER WITH TWO ROWS 16# @ 12" C/C
 15. PROVIDE DOUBLE STUDS AT ALL Lintel AND WOOD BEAM BEARINGS UNLESS NOTED OTHERWISE
 16. MAKE ALL CUTS TRUE AND SQUARE FOR ALL BEAMS AT STRUCTURAL JOINTS
 17. PROVIDE PLYWOOD NAILING AS RECOMMENDED BY THE AMERICAN PLYWOOD ASSOCIATION
 18. CONTACT ALL FRAMING AND SHEATHING REQUIREMENTS TOGETHER WITH NAILS, SPICES OR FRAMING ANGLES FOLLOWING MINIMUM REQUIREMENTS OF OHIO BUILDING CODE TABLE D00001 FASTENING SCHEDULE UNLESS NOTED OTHERWISE ON DRAWING
 19. NAILING REQUIREMENTS ARE BASED ON COMMON NAIL SIZES. ADDITIONAL NAILING WILL BE REQUIRED IF CORNER COATED SPACING OR ROW NAILS ARE USED. OBTAIN WRITTEN APPROVAL FROM STRUCTURAL ENGINEER BEFORE MAKING ANY SUBSTITUTION.
 20. ALL GILL PLATES IN CONTACT WITH MASONRY WITHIN 1" OF BEAM OR ON CONCRETE BEARINGS ON EARTH SHALL BE PRESERVATIVE TREATED.


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**Fountain Springs Apartments
 Fifty & Over Workforce Housing**
 870 East 28th Street
 FREMONT, NEBRASKA

DATE: 04-28-19
 JOB NO. 0418133
 DRAWN: DDP
 CHECKED: KAS
 TITLE:
 FLOOR
 FRAMING PLAN
 SHEET NO.
A501



54
ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

R. A. SHOOK DESIGN, LLC
ARCHITECTURE AND ENGINEERING
1728 SOUTH WINE STREET
SPRINGFIELD, MO 65704
417-881-1100
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FRAMING NOTES

1. PROVIDE SPIGON HURRICANE CLIP AT EACH TRUSS/BARRIER
2. ALL STRUCTURAL WOOD MEMBERS SOUTHERN PINE #2. CONSULT INTERNATIONAL RESIDENTIAL CODES FOR SPACING AND SIZE FOR ALL OTHER SPECIES AND GRADE
3. LINTELS AND BEAMS MIN. F_v = 1000 PSI
4. ALL EXTERIOR WOOD STRUCTURAL TO BE TREATED LUGHERS
5. ALL EXTERIOR SPIGON HANGER OR CLIPS TO BE GALVANIZED
6. THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETED. IT IS THE GENERAL CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE AND TO INSURE THE SAFETY OF THE BUILDING AND COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF BRACE/BEVER, TOP, BRACING, GIRT, OR TIE/DOWN WHICH MAY BE NECESSARY. SUCH MATERIAL SHALL REMAIN THE CONTRACTOR'S PROPERTY AFTER COMPLETION OF THE PROJECT.
7. SPECIFICATIONS AND STANDARDS DESIGN AND DETAILING OF CONNECTIONS CONSTRUCTION AS RECOMMENDED BY NATIONAL FOREST PRODUCTS ASSOCIATION
8. MATERIALS: USE ONLY STRONG GARAGE LUMBER WITH THE FOLLOWING MINIMUM PROPERTIES FOR DIMENSIONAL LUMBER FRAMING:

TYPE OF MEMBER	NO.	F _v	E
TRUSSES	10	1000/1000	1,000,000 PSI
BEAMS	10	1000/1000	1,000,000 PSI
JOISTS & HEADERS	10	1000/1000	1,000,000 PSI
LINTELS	10	1000/1000	1,000,000 PSI
9. ALL STRUCTURAL LUMBER SHALL BE KILN DRIED TO 5% MOISTURE CONTENT.
10. PLYWOOD SHEATHING:
 - a. ROOFING - 5/8" TONGUE AND GROOVE PLYWOOD APA C-D DEXT. GLUE PANEL INDEX 240.
 - b. PLYWOOD FILLERS ARE CALLED OUT WITH LINTELS. THEY SHALL BE CONTINUOUS PIECES FOR LENGTH OF OPENING AND SHALL BE NAILED TO 2x6 WITH TWO ROWS OF 2x6 NAILS AT 12" C/C.
 - c. ALL MULTIPLE STUDS AT BEAM AND Lintel BEARINGS SHALL BE NAILED TOGETHER WITH TWO ROWS 12D @ 12" C/C.
 - d. MULTIPLE MEMBER BEAMS AND LINTELS SHALL BE NAILED TOGETHER WITH TWO ROWS 12D @ 12" C/C.
 - e. PROVIDE DOUBLE STUDS AT ALL Lintel AND WOOD BEAM BEARINGS UNLESS NOTED OTHERWISE.
 - f. MAKE ALL CUTS TRUE AND SQUARE FOR FULL BEARINGS AT STRUCTURAL JOINTS. PROVIDE PLYWOOD NAILING AS RECOMMENDED BY THE AMERICAN PLYWOOD ASSOCIATION.
 - g. CONNECT ALL FRAMING AND BRACINGS TOGETHER WITH NAILS, SPIKES, OR FRAMING ANGLES. FOLLOW THE REQUIREMENTS OF CHORD BULKING CODE TABLE 2004.1 FASTENING SCHEDULE UNLESS NOTED OTHERWISE ON DRASINGS.
 - h. NAILING REQUIREMENTS ARE BASED ON COMMON NAIL SIZES. ADDITIONAL NAILING WILL BE REQUIRED IF COPING GANTO SINKERS OR BONY NAILS ARE USED. OBTAIN WRITTEN APPROVAL FROM STRUCTURAL ENGINEER BEFORE MAKING ANY SUBSTITUTION.
 - i. ALL BIL PLATES IN CONTACT WITH MASONRY WITHIN 8" OF EARTH OR ON CONCRETE BEARING ON EARTH SHALL BE PRESERVATIVE TREATED.

TRUSS NOTES

1. ALL TRUSS MEMBERS TO SOUTHERN PINE
2. TRUSS MANUFACTURER TO ENGINEER TRUSSES AND FURNISH SHOP DRAWINGS TO ARCHITECT AND BUILDING DEPARTMENT NOTATING CHORD LOADS AND DRIVING LOCATION. SHOP DRAWINGS TO BE SEALED BY REGISTERED ENGINEER IN THE STATE OF MISSOURI
3. TRUSS TYPE SHOWN FOR DRASING AND CLARIFICATION ONLY
4. TRUSS MANUFACTURER RESPONSIBLE FOR ALL SCRIBED CONNECTIONS, LOADS, VERTICAL MEMBERS ABOVE ALL INTERIOR LATERALLY BRACING WALLS
5. CHORD LOADS:

TOP CHORD	DL	25 PSF	DL + 10 PSF
BOTTOM CHORD	LL	10 PSF	
TOTAL		35 PSF	
DESIGN WIND SPEED		50 MPH	
WINDING ZONE		1	
6. TRUSS ERECTOR SHALL PROVIDE TOP, AND PERMANENT BRACING AS REQUIRED.

Fountain Springs Apartments
Fifty & Over Workforce Housing
679 East 9th Street
FREMONT, DODGE COUNTY, NEBRASKA

DATE: 04-08-19
JOB NO. 0418133
DRAWN: DOP
CHECKED: KAS
TITLE: ROOF FRAMING PLAN
SHEET NO. A502

